

**APPLICATION**

**CONTACT INFORMATION**

Applicant's Name: MHM Bay Development LLC  
Street Address: 1340 N. Great Neck Rd. #1272-208  
City/State/Zip: Virginia Beach, VA 23454  
Telephone: 757-450-2108 Fax: \_\_\_\_\_  
E-mail: Hwen2004@yahoo.com

Applicant's Representative: Helen Wen  
Street Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Property Owner's Name: MHM Bay Development LLC 05/6/11/17  
Street Address: 1340 N. Great Neck Rd. #1272-208  
City/State/Zip: Virginia Beach, VA 23454  
Telephone: 757 450-2108 Fax: \_\_\_\_\_  
E-mail: Hwen2004@yahoo.com

**DESCRIPTION OF PROPERTY**

Location (Street Location and/or Address):  
Jack Frost Rd. Lot is north of 1644 Jack Frost Rd.

Map Book & Page Number or Instrument Number:  
MB 8 P 29

GPIN Number(s): 1469841463

Land Area (in acres or square feet): 43,172 Sf AICUZ Zone: N/A

City Council Election District: Bayside

Existing Zoning: R-20

**DECLARATION OF FINANCIAL RESPONSIBILITY FOR ADVERTISING COSTS:**

I understand that the cost of newspaper advertising for public hearing notification purposes is my responsibility and agree to pay all notices of payment due and bills associated with advertising costs for this application.

Party responsible for advertising costs:  Applicant  Representative  Owner  
(Bill will be mailed to party responsible for advertising cost)

FOR OFFICE USE ONLY: Application Paid: \_\_\_\_\_ Receipt #: \_\_\_\_\_

**SUBDIVISION VARIANCE APPLICATION**

# SUBDIVISION VARIANCE APPLICATION

APPLICATION

## DESCRIPTION OF REQUEST

Please describe the hardship that creates the need for the requested subdivision variance, and provide any additional information that may be helpful in the review of this application.

*I am requesting a variance to Section 4.4b of the Subdivision Ordinance. I believe that this variance should be granted because:*

*See attached.*

## **Subdivision Variance Application Justification:**

### **For GPIN 1469-84-1463 (43,172 SF, .99 Acre) on Jack Frost Road**

**Background:** Parcel GPIN 11469-84-1463 is located off of Jack Frost Road in the Lake Shores neighborhood of Virginia Beach. This one acre lot was created by plat in the year of 1927, with a width of 80 ft. and depth of over 540 ft. and a total SQ Ft of 43,172.

This parcel is now in Zone R20, which requires each lot to have 100 Ft of width and 20,000 SQ Ft of lot area. This lot satisfies more than double the lot area but not the width requirement due to layout platted from a long time ago.

The lot is vacant and cleared.

**Variance Request:** Applicant is proposing <sup>to</sup> ~~the~~ subdivide the one acre lot into two lots by placing a dividing line at 265 ft. from the property line on Jack Frost Road. As a result, front lot( Lot A ) will have a width of 80 ft., depth of 265 ft., and lot area of 21,200 SF; Lot B, on the other hand, is of the same width with lot area of 21,972 SF. ( Proposed Layout Plan is Attached)

A total of two single houses will be proposed to be built on the two lots. A 265 feet ingress regress easement will be created along the south side of Lot A for the use of Lot B. The two houses will be in conformity with the rest of the neighborhood in style, size and shape, color and siding materials.( Elevation Drawing is Attached.)

### **Consideration:**

- The neighbourhood has surrounding lots with varying sizes ranging from 0.5 acre to 1 acre, or 20,000 sf to 45,000 sf. This lot, if subdivided into two will render lot size comparable to what's in the area.
- The lot faces Jack Frost Road and backs to Northhampton Blvd with 2 neighbouring lots with single houses on them. No other roads or entry ways will be affected by this change.
- The size , shape and style of the homes to be built will be comparable to rest of the neighbourhood. The two homes will be built in accordance with zoning setbacks and all other requirements from the planning and building permit departments.



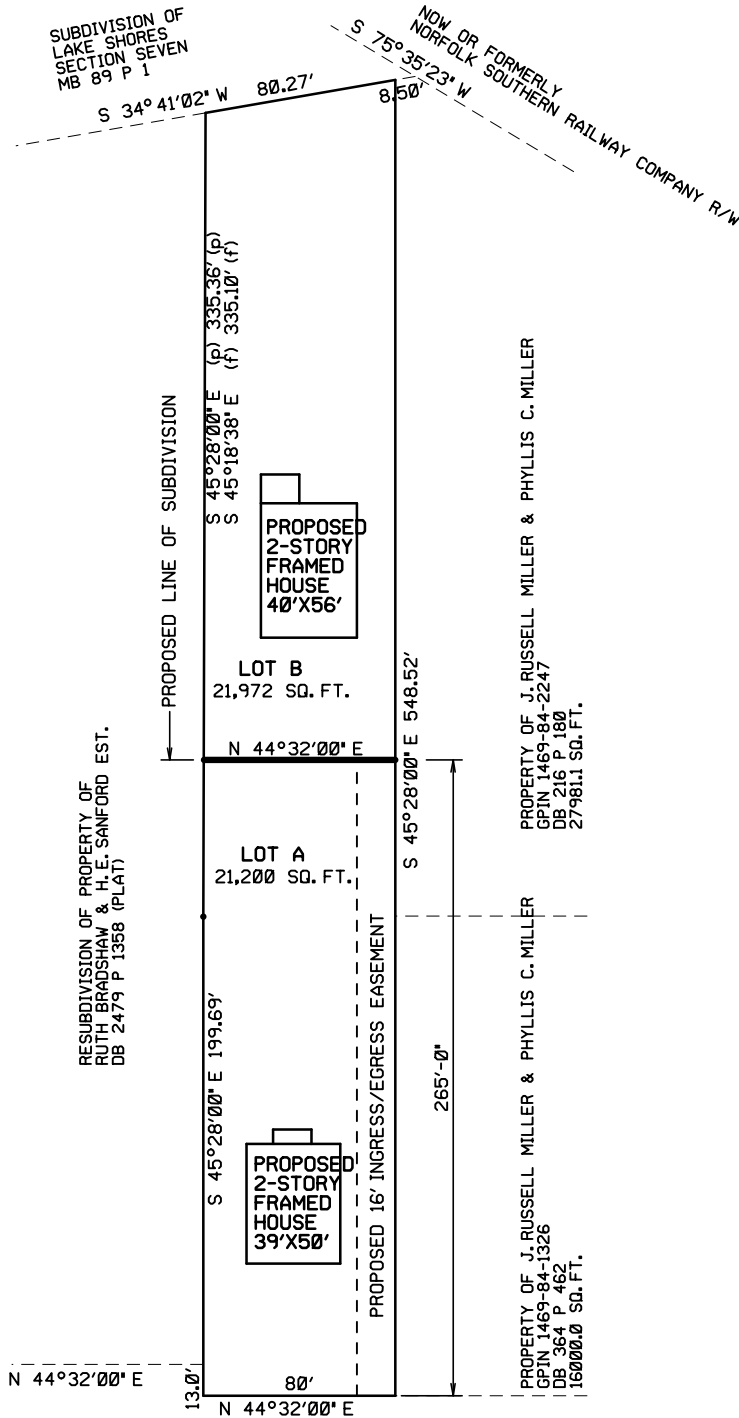
# SUBDIVISION VARIANCE REQUEST APPLICATION

Original Lot Size: 43,172 SQ. FT.  
 Subdivided Lot Sizes:  
 Proposed Lot A: 21,200 SQ. FT.  
 Proposed Lot B: 21,972 SQ. FT.

Subdivisions: Lake Shores, Virginia Beach  
 Owner: MHM Bay Development LLC  
 1340 N. Great Neck Rd. #208, Virginia Beach, VA 23454  
 Date: June 6, 2017

Name of Preparer: Michael Mo (Professional Engineer)

Sheet 1 of 3



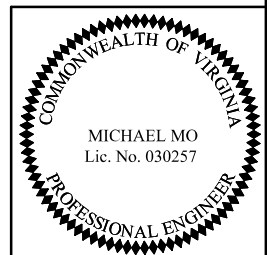
## PLAN OF PROPERTY

GPIN 11469-84-1463  
 PROPERTY OF IVOR K. MILLER  
 MB 8 P 29  
 DB 214 P 84

Scale: 1" = 80'

**JACK FROST ROAD (20' R/W)**

MB 8 P29, MB 9 P13



# SUBDIVISION VARIANCE REQUEST APPLICATION

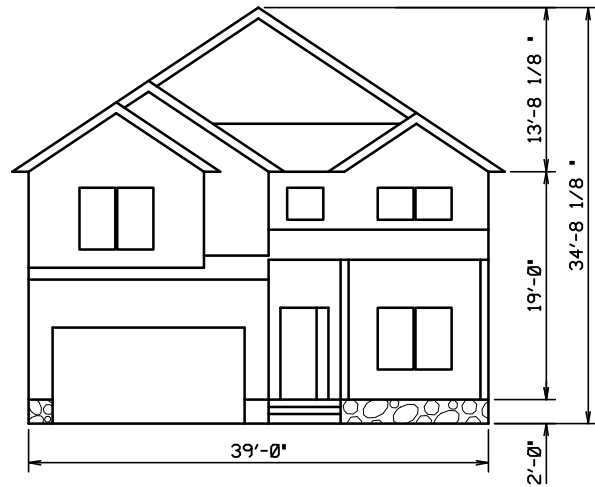
Original Lot Size: 43,172 SF

Subdivided Lot Sizes:  
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Proposed Lot B: 21,972 SF

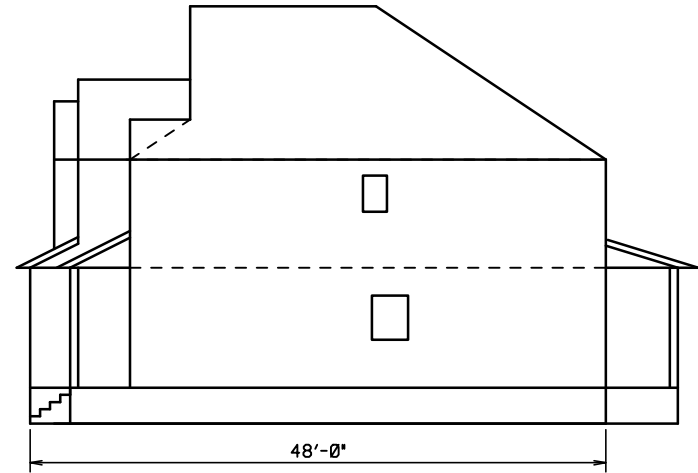
Subdivision: Lake Shores, Virginia Beach  
Owner: MHM Bay Development LLC  
1340 N. Great Neck Rd. #208, Virginia Beach, VA 23454  
Date: June 6, 2017

Name of Preparer: Michael Mo (Professional Engineer)

Sheet 2 of 3

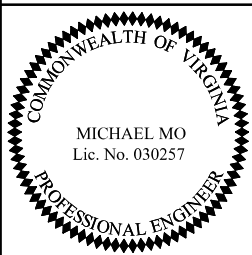


FRONT ELEVATION



SIDE ELEVATION

PROPOSED LOT A HOUSE



# SUBDIVISION VARIANCE REQUEST APPLICATION

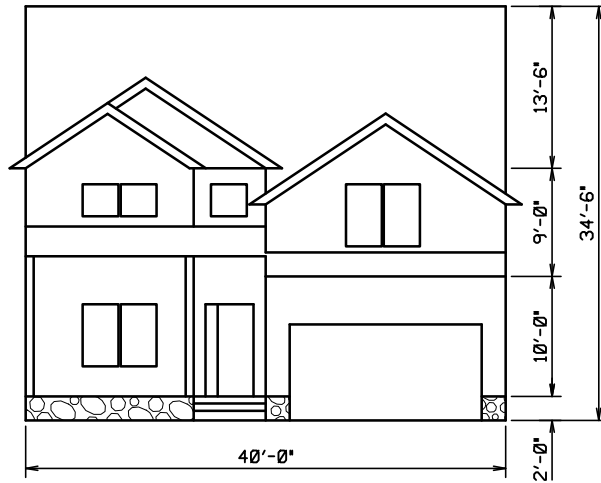
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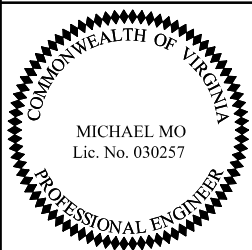
Sheet 3 of 3



FRONT ELEVATION



SIDE ELEVATION



PROPOSED LOT B HOUSE