

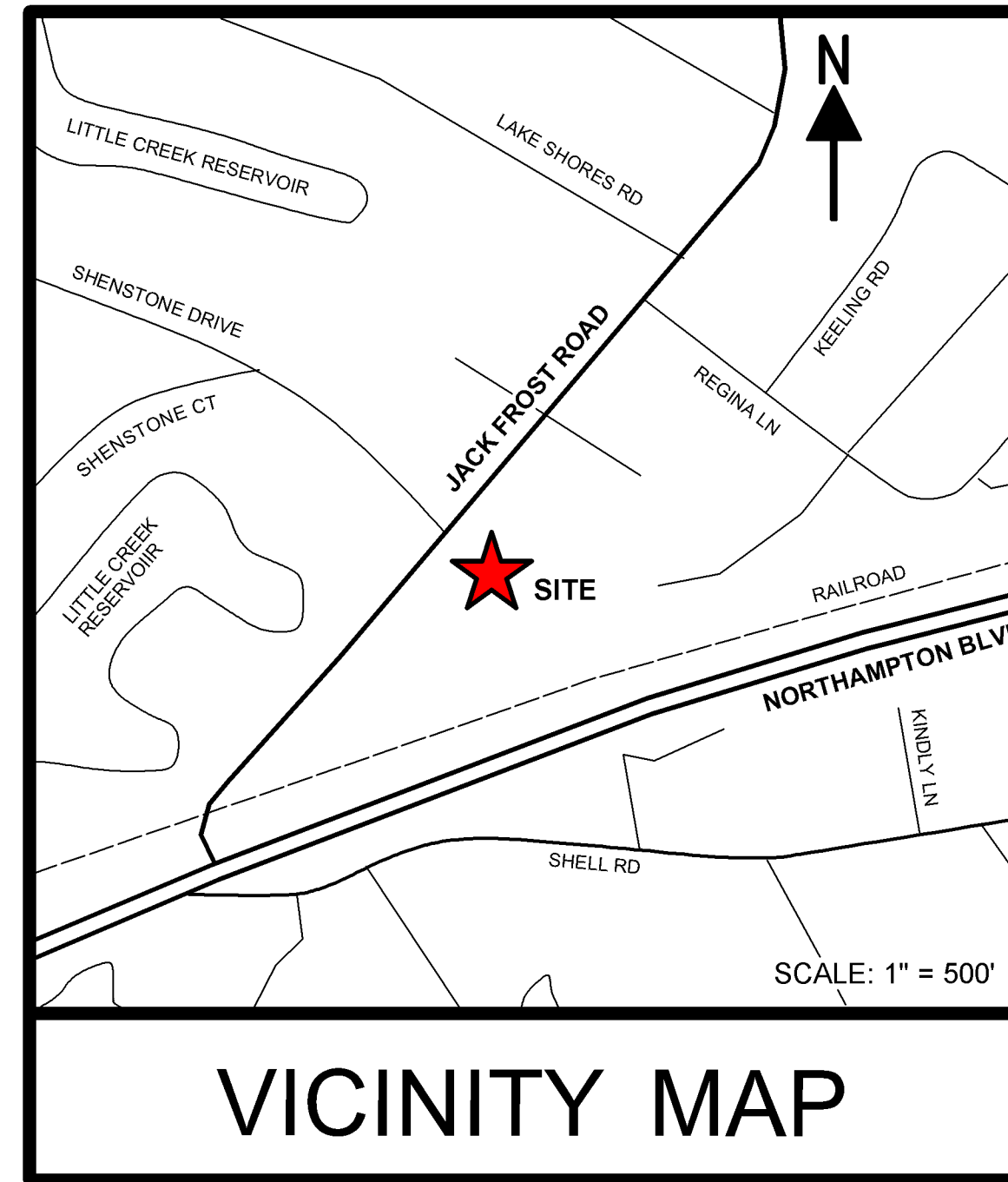
GENERAL NOTES:

1. At least 72 hours prior to any excavation, contractor shall contact MISS UTILITIES OF VA at 811 or online to have utilities marked.
2. The owner/developer is responsible for replacing or repairing any and all damages to driveways, roads, sidewalks, and other public or private improvements and above and below ground utilities damaged during construction. Milling and/or overlay of the street may be required at the direction of the city inspector.
3. GPIN: 1469841326
4. This lot or parcel was created by deed recorded in Deed Book 291 at page 552 on 9-05-1951 and is shown on plat recorded as Instrument # 20051110001835770.
5. ZONING: R20
6. AICUZ note: This site lies within aircraft Accident Potential Zone N/A and/or Noise Zone < 65db and may be subject to aircraft accidents and/or above average noise levels due to its proximity to airport operations. Noise zone attenuation measures for new construction are required in accordance with the airport noise attenuation and safety ordinance and height restrictions have been imposed in accordance with Section 202(b) of the City Zoning Ordinance.
7. Vertical Datum and Bench Mark Description: NAVD 1988 - CITY OF VIRGINIA BEACH CONTROL MONUMENT STATION TJJ-21 WAS USED TO ESTABLISH ELEVATIONS, ELEV. 16.93'. ELEVATIONS ARE EXPRESSED IN FEET.
8. The site is located in this Major Watershed: CHESAPEAKE BAY
9. Flood Hazard Zone Note: The property does not fall in a Special Flood Hazard Area as shown on the FEMA NFIP FIRM for the City of Virginia Beach, Community-Panel Number 515531-0018 G, dated January 16, 2015.. The property falls in Flood Zone "X". Base Flood Elevation N/A, (NAVD 88).
10. The proposed dwelling is not located in a special flood hazard area.
11. Property is not located in a Flood Zone Subject to Special Restrictions per City Code, Appendix K, Floodplain Ordinance, Sec. 4.10
12. Lowest finished floor note: New construction or substantial improvement of any residential structure or manufactured home lowest proposed floor elevation, including basements, or bottom of lowest structural member, whichever is applicable, is at least two (2) feet above the base flood level.
13. Lot grading statement: The lot grading on this plan is in accordance with the latest subdivision construction plan submitted to and approved by the Director of Planning or his designee on N/A.
14. Per the approved subdivision construction plan, a 5 wide concrete sidewalk is not required along the frontage of this lot as shown.
15. Lot area: 16,000 SQUARE FEET / 0.367 ACRE.
16. Proposed impervious area: 2,996 Sq.ft.
17. Percentage of lot covered by impervious area: 19%
18. Area of Land Disturbance: 8,764 SQUARE FEET / 0.201 ACRE.
19. Proposed Building Height (measured from the lowest grade 6 from structure to highest point on structure): 32 +/- ft.
20. Required Residential Tree Canopy, per City Code Appendix E, Tree Planting, Preservation and Replacement, 900 Sq.Ft.
21. Trees and vegetation located in the city right of way are city property and cannot be cut, damaged or removed without permission from the Department of Parks and Recreation/Landscape Management office; call (757) 385-4461 for assistance. Removal without required permission is a punishable Class 3 misdemeanor per City Code Article 1, Section 23-39.
22. All trees in the city right of way and onsite to remain are required to have tree protection in compliance with the Virginia Department of Environmental Quality (DEQ) specifications and standards.
23. Erosion and Sediment (E&S) Control Agreement in Lieu of a Plan: All land disturbance of 2,500 square feet or greater requires an approved Erosion and Sediment Control Plan. The owner/developer of this single family residence chooses to utilize an Agreement in Lieu of a Plan to meet this requirement, therefore all E&S measures have not been shown hereon. At a minimum, silt fence shall be installed around the area of construction. A construction entrance and inlet protection shall also be installed and any other measures deemed necessary by the city inspector(s). All E&S measures and practices shall comply with the City of Virginia Beach and Virginia Department of Environmental Quality (DEQ) regulations, specifications and standards.
24. Stormwater Management Agreement in Lieu of a Plan: A Stormwater Management Plan is required for the construction of a single family residence with land disturbance of 2,500 square feet or greater located in the Chesapeake Bay Watershed, and land disturbance of 1 acre or greater in other watersheds. The owner/developer of this single family residence chooses to utilize an Agreement in Lieu of a Plan to meet this requirement, therefore stormwater management measures shown hereon are not intended for review, and are shown for inspection and owners maintenance purposes only. All stormwater measures and practices shall comply with the City of Virginia Beach and Virginia Department of Environmental Quality (DEQ) regulations, specifications and standards.
25. Whether a stormwater management plan is or is not required, where drainage facilities (BMPs) are necessary due to inadequacy of the downstream system, the drainage facilities are reviewed and approved as shown hereon. Additional separate drainage calculations may be submitted and are considered a part of this plan.
26. City water and sewer is available to this site.
27. Sewer and water connection installations, relocations and abandonments will be completed by the city at the developers expense.
28. Utilities to be installed by the developers contractor in the city right of way or public easement require a Right of Way Permit, and posting of a surety (check, letter of credit or bond) based on an approved Engineers Cost Estimate. Contact the Development Services Center (DSC) at (757) 385-8277 for additional information
29. The owner/developer/contractor must contact Public Utilities Inspections at (757) 385-4175 at least 48 hours prior to any utility construction located in the city right of way or easements.
30. The owner/developer/contractor must contact Public Utilities Inspections at (757) 385-4175 to schedule an inspections prior to placing backfill over the service line(s).
31. The Department of Public Utilities requires the installation of a lateral wye connection to the sanitary sewer gravity main. In addition, a minimum of 10 feet of the existing main must be removed and replaced in conjunction with the installation of the wye.
32. Brass fittings to meet CDA No. C89520, with no more than one quarter of one percent (0.25%) total lead content by weight shall be used for corporation stops, meter valves and service couplings.
33. Existing water and/or sewer services to be abandoned shall be abandoned at the main in accordance with Section 3.9 (sanitary sewer) and 4.9 (water) of the City of Virginia Beach Department of Public Utilities Design Standard Manual. Any lines not shown on the plan that are located during construction shall be abandoned per Public Utilities requirements at the developers expense.
34. If structure is to be demolished include the following notes:
a) Developer must verify and stake the location of the existing sanitary sewer cleanout or lateral at the right of way prior to demolition of existing structure.
b) Prior to demolition, developer shall contact Public Utility Operations at (757) 385-1400 to remove existing water meter. A new 5/8 water meter shall be installed by the City at the developers expense.
35. An existing public fire hydrant is located within 500 feet of the proposed structure.
36. There is/a minimum of 20 wide paved access from the existing fire hydrant to within 150 feet of the proposed structure.
37. Fire suppression system is not required to be constructed within the proposed dwelling. If either or both of the preceding notes is is Not, a residential fire sprinkler system per NFPA 13D is typically required unless the property is in the rural southern area of the city.
38. Rural property driveway will be constructed to accommodate an 82,000 lb fire truck.

END OF CITY NOTES

SINGLE FAMILY SITE PLAN FOR PARCEL DESIGNATED ON PLAT AS "GPIN 1469-84-1326" PROPERTY SHOWN ON PLAT TITLED "PROPERTY OF IVOR. K. MILLER" VIRGINIA BEACH, VIRGINIA

DSC File # D03-007891-SF



AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT MISS UTILITY OF VA. AT 811 OR ONLINE TO HAVE UTILITIES MARKED.

Erosion and Sediment (E&S) Control Agreement in Lieu of a Plan: All land disturbance of 2,500 square feet or greater requires an approved Erosion and Sediment Control Plan. The owner/developer of this single family residence chooses to utilize an Agreement in Lieu of a Plan to meet this requirement, therefore all E&S measures have not been shown hereon. At a minimum, silt fence shall be installed around the area of construction. A construction entrance and inlet protection shall also be installed and any other measures deemed necessary by the city inspector(s). All E&S measures and practices shall comply with the City of Virginia Beach and Virginia Department of Environmental Quality (DEQ) regulations, specifications and standards.

FOR CITY OF VIRGINIA BEACH USE

OWNER / DEVELOPER:

MHM Bay Development, LLC
Helen Wen, Managing Member
1340 Great Neck Road #1272-208
Virginia Beach, Virginia 23454

PHONE: 757-450-2108
EMAIL: hwen2004@yahoo.com

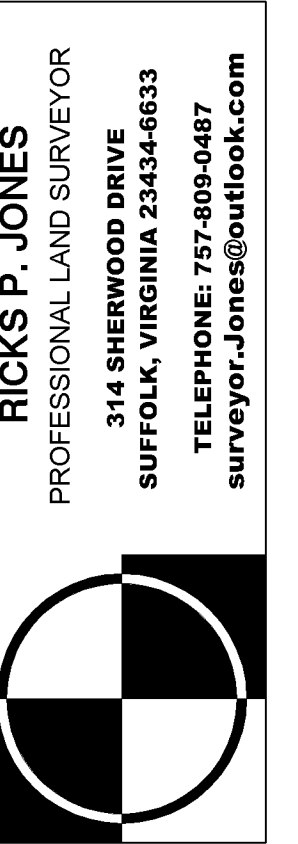
SURVEYOR / DESIGN PROFESSIONAL:

RICKS P. JONES, P.L.S.
314 SHERWOOD DRIVE
SUFFOLK, VIRGINIA 23434-6633
PHONE: 757-809-0487
EMAIL: surveyor.jones@outlook.com

SHEET INDEX

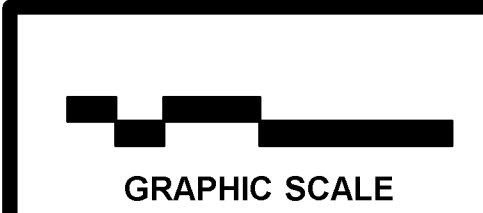
- SHEET 1: COVER SHEET
- SHEET 2: EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN
- SHEET 3: SITE DEVELOPMENT PLAN
- SHEET 4: NOTES & DETAILS

THE SITE WILL USE THE EXISTING WATER AND SEWER TAP.



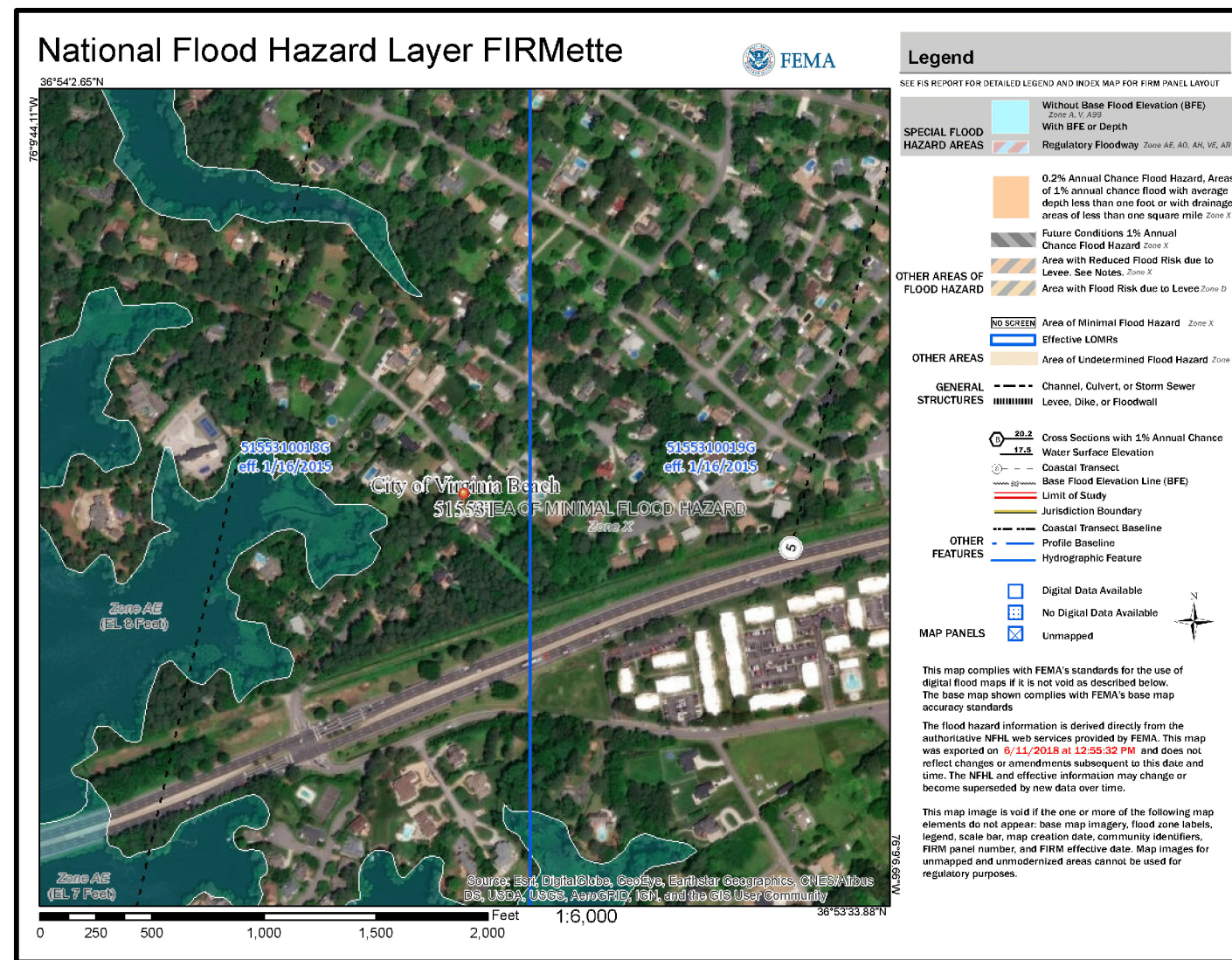
**COVER SHEET
FOR PROPERTY DESIGNATED ON PLAT AS
"GPIN 1469-84-1326"
PROPERTY SHOWN ON PLAT TITLED
"PROPERTY OF IVOR. K. MILLER"
INST. # 20051110001835770
VIRGINIA BEACH, VIRGINIA**

**SINGLE FAMILY
SITE PLAN**



NO.	REVISION	DATE
1	CITY COMMENTS	7-11-18

JOB #	SHEET
18-64	1
DATE	
6-15-2018	
SCALE	
NONE	OF 4



THIS TOPOGRAPHIC SURVEY OF PROPERTY SHOWN ON PLAT TITLED "PROPERTY OF IVOR K. MILLER (INSTR. # 20051110001835770)" WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF RICKS PALMER JONES, L.S. #3033 (VA.), FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND / OR ORIGINAL DATA WAS OBTAINED ON OCTOBER 6 - 10, 2017; AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPACIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

Ricks P. Jones
RICKS P. JONES, P.L.S.

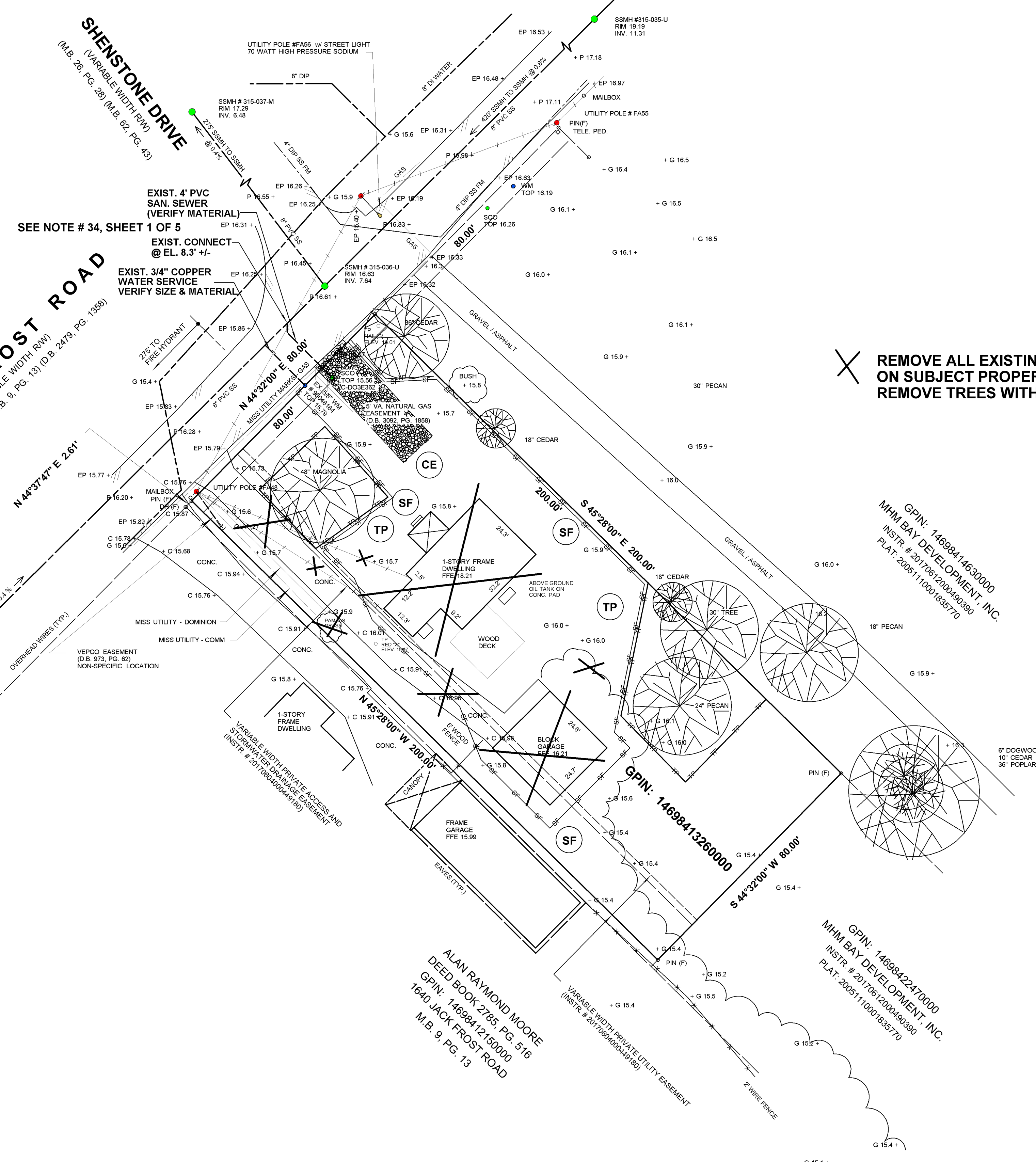
RICKS P. JONES
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surveyor.jones@outlook.com

COMMONWEALTH OF VIRGINIA
RICKS PALMER JONES
LIC. NO. 3033
LAND SURVEYOR

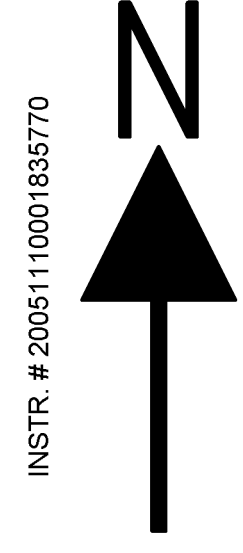
Before You Dig, Call
MISS UTILITY OF VIRGINIA
CALL ANYWHERE 1-800-552-7001
OR DIAL 811



EXISTING WATER METER



REMOVE ALL EXISTING IMPROVEMENTS ON SUBJECT PROPERTY.
REMOVE TREES WITHIN SILT FENCE.



INSTR. # 20051110001835770

ABBREVIATIONS

- C CONCRETE
- DH DRILL HOLE
- EP EDGE OF PAVEMENT
- F FOUND
- G GROUND
- P PAVEMENT
- SCO SEWER SCAVEN OUT
- TP TRAVERSE POINT
- WM WATER METER

- NOTES:**
- VERTICAL DATUM; NAVD 88. BENCHMARK USED: CITY OF VIRGINIA BEACH STATION TJJ-21, ELEV. 16.93'. ELEVATIONS ARE EXPRESSED IN FEET.
 - HORIZONTAL DATUM: PLAT RECORDED AS INSTRUMENT # 20051110001835770.
 - ONLY THE SURFACE FEATURES OF THE UNDERGROUND UTILITIES WERE FIELD LOCATED. LOCATION OF UNDERGROUND WATER & SEWER LINES BASED ON CITY OF VIRGINIA BEACH UTILITY MAPS AND MISS UTILITY MARKINGS. SANITARY SEWER INVERTS ARE TAKEN FROM CITY RECORDS. THERE MAY BE EXISTING UNDERGROUND UTILITIES NOT SHOWN HEREON.

THIS PLAN DOES NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE, SIZE, TYPE, LOCATION, ALIGNMENT OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES. WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR INCONCLUSIVE, INFORMATION SHOWN MAY BE FROM UTILITY OWNER'S RECORDS AND/OR ELECTRONIC LINE TRACING, THE RELIABILITY OF WHICH IS UNCERTAIN. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATION PRIOR TO INSTALLING NEW UTILITIES OR UNDERGROUND FACILITIES.

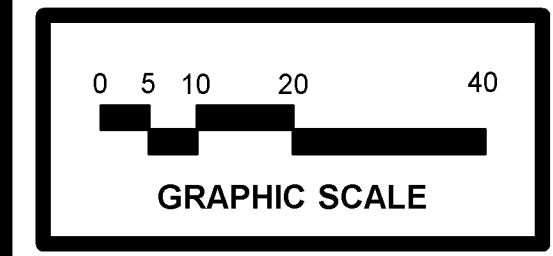
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE REPORT FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 170518-P DATED 5-25-2017 AT 8:00 A.M.
- THIS SURVEY DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF WETLANDS OR ANY UNDERGROUND HAZARDS OR STRUCTURES NOT VISIBLE FROM THE SURFACE.
- MISS UTILITY TICKET # A726901534-00A: TAKEN 9-26-2017

EROSION AND SEDIMENT CONTROL DEVICES ARE TO CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK WITH REFERENCES TO THE FOLLOWING DETAILS:		
1. STONE CONSTRUCTION ENTRANCE STANDARD AND SPECIFICATION 3.02	CE	
2. SILT FENCE STANDARD AND SPECIFICATION 3.05	SF	
3. STORM DRAIN INLET PROTECTION STANDARD AND SPECIFICATION 3.07	IP	
4. TREE PROTECTION STANDARD AND SPECIFICATION 3.38	TP	
5. MULCHING STANDARD AND SPECIFICATION 3.35	MU	
6. TEMPORARY SEEDING STANDARD AND SPECIFICATION 3.31	TS	
7. CULVERT INLET PROTECTION STANDARD AND SPECIFICATION 3.08	CIP	

EXISTING CONDITIONS, DEMOLITION, & EROSION CONTROL PLAN FOR PROPERTY DESIGNATED ON PLAT AS "GPIN # 1469-84-1326" PROPERTY SHOWN ON PLAT TITLED "PROPERTY OF IVOR K. MILLER" (INSTR. # 20051110001835770) JACK FROST ROAD VIRGINIA BEACH, VIRGINIA

PROJECT TYPE
SINGLE FAMILY SITE PLAN

in association with
J.M. Daughtry
Construction Layout - (757) 406-7744



NO.	REVISION	DATE
1	CITY COMMENTS	7-11-18

JOB #	18-64	SHEET 2 OF 4
DATE	6-15-2018	
SCALE	1" = 20'	

TREE CANOPY COVERAGE REQUIREMENT:

LOT ZONED: R20. CANOPY REQUIREMENT IS 900 SQ. FT.

EXISTING LARGE CANOPY TREES ON THE LOT PROVIDE 600 SQ. FT. OF CANOPY. PROVIDE ONE NEW SMALL CANOPY TREE AND ONE NEW LARGE CANOPY TREE.

600 S.F. (EXIST) + 100 S.F. (SMALL CANOPY TREE) + 200 S.F. (LARGE CANOPY TREE) = 900 S.F. PROVIDED

SMALL CANOPY TREE SHALL BE Lagerstroemia spp. (Crape Myrtle)
LARGE CANOPY TREE SHALL BE Acer rubrum (Red Oak, any cultivar)

UTILITY SCHEDULE

- (A) PROP. 4" PVC SS @ 1.0% MIN.
- (B) PROP. 62" - 1.5" PVC WATER SERVICE
- (C) PROP. SCO; TOP = 16.2, INV = 8.96
- (D) PROP. SCO; TOP = 16.4, INV = 9.16
- (E) EXIST. SCO, TOP 15.56, INV. 8.5' +/- (VERIFY)

* PROVIDE CONCRETE (7" THICK, CLASS A) RESIDENTIAL ENTRANCE VIRGINIA BEACH STANDARD D-5 (SEE DETAIL SHEET 4 OF 4)

IMPERVIOUS COVER CALCULATION

LOT AREA OUTSIDE OF WATER & TIDAL WETLANDS : 16,000 SQ.FT.

PROPOSED IMPERVIOUS SURFACE:

HOUSE, PORCHES, STEPS: 2,014 SQ.FT.
PATIO, DRIVE, WALKS, HVAC: 982 SQ. FT.
TOTAL PROPOSED IMPERVIOUS SURFACE: 2,996 SQ.FT. (19% OF LOT AREA)

CBPA CALCULATION

VOLUME OF CBPA BIO-RETENTION BED REQUIRED: (0.5" x 12") X IMPERVIOUS AREA OF 2,996 SQ.FT. = 125 CU. FT.

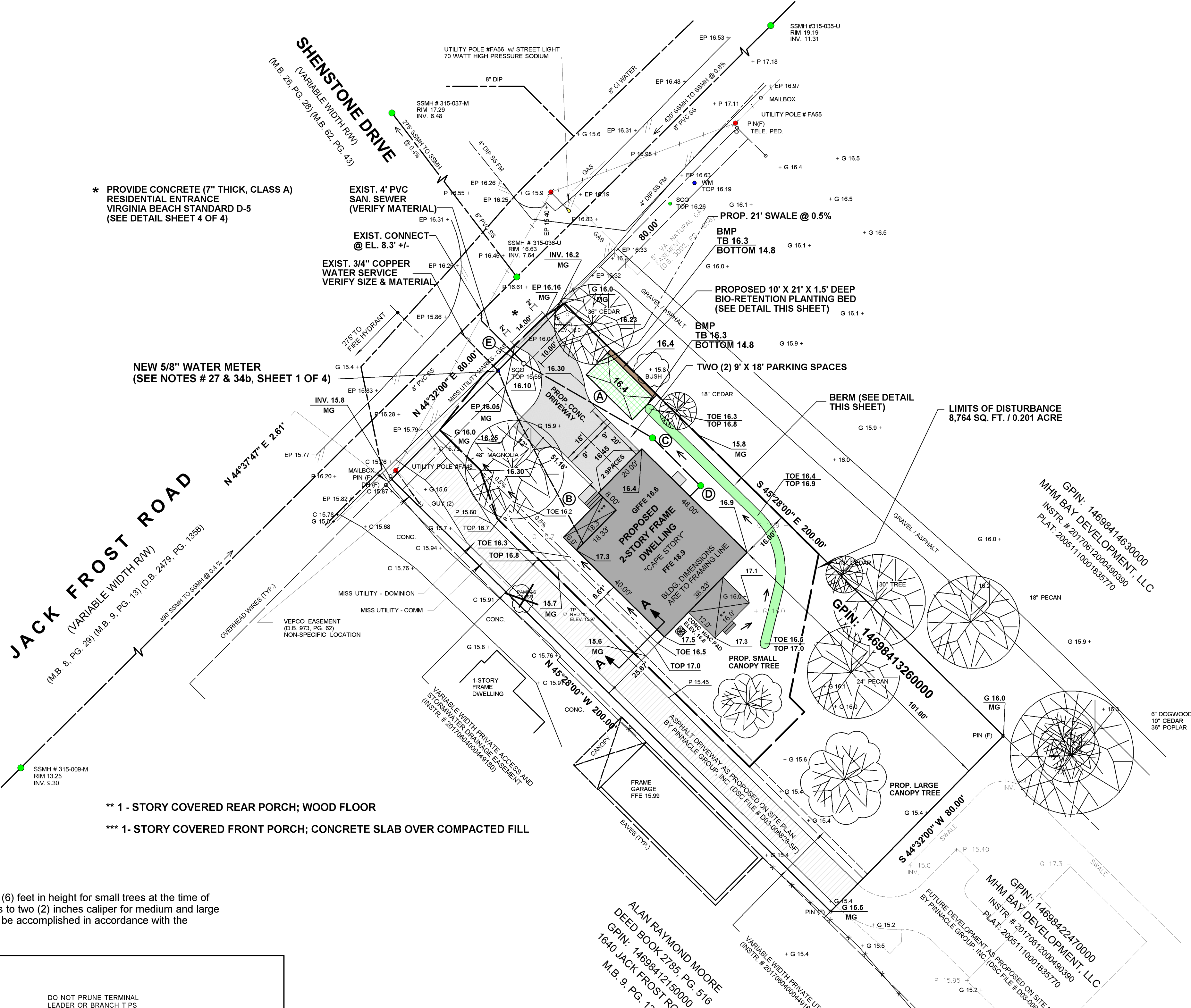
VOLUME PROVIDED: SQ.FT. OF CROSS SECTION X LINEAR FEET OF BED X 0.4 (VOID)

CROSS SECTION: 10' WIDE BOTTOM X 1.5' DEEP BED = 15 SQ.FT.

15 SQ.FT. X 21 LINEAR FEET X 0.4 = 126 CU. FT.

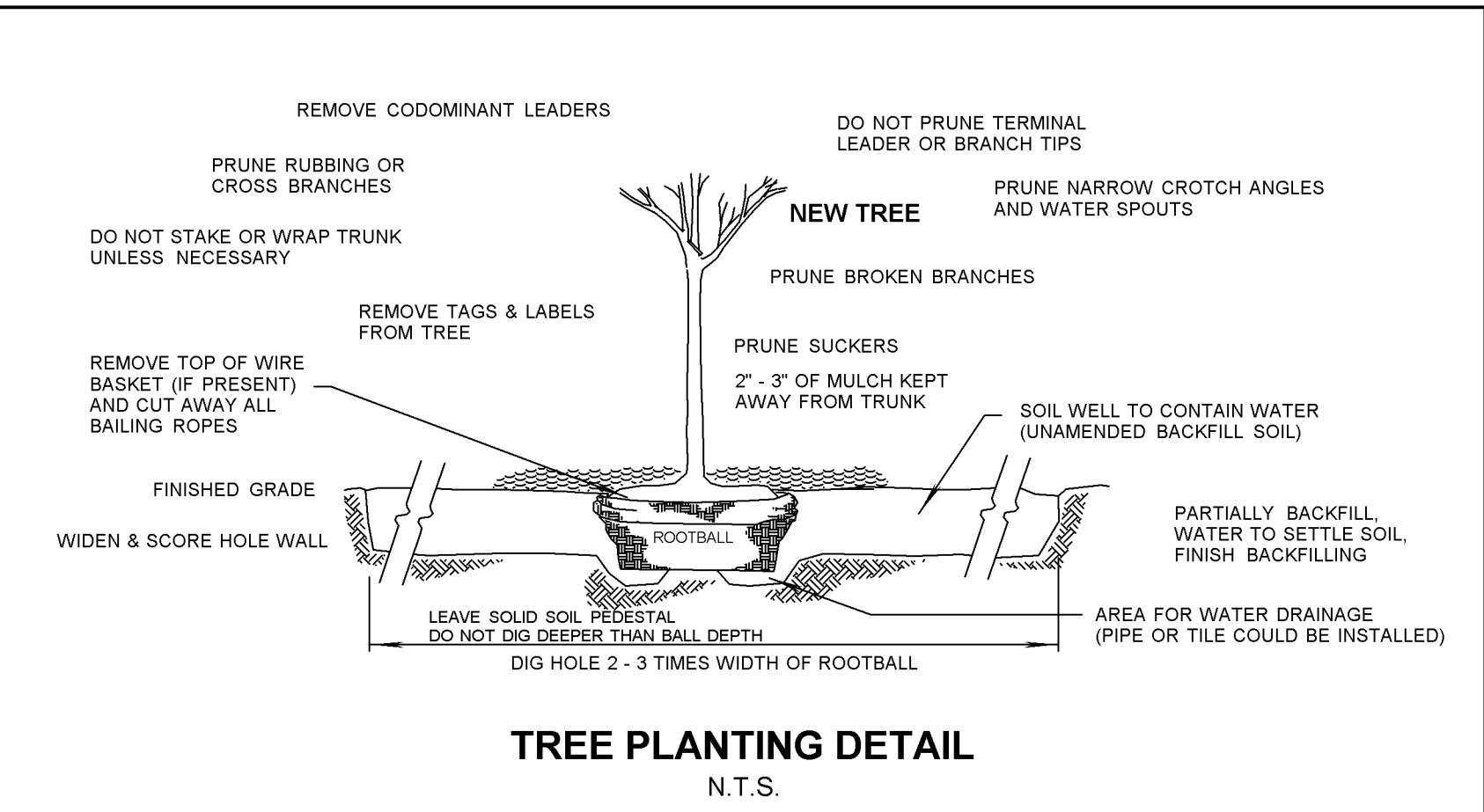
DOWNSPOUTS TO BE DIRECTED TOWARDS BERM AND BIO-RETENTION PLANTING BED.

* SEE BIO-RETENTION PLANTING BED DETAIL, THIS SHEET



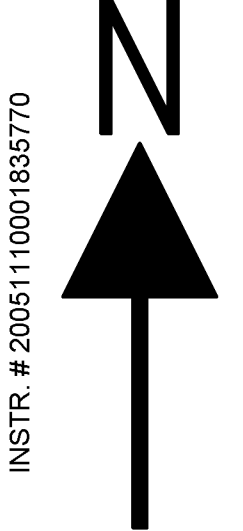
- ** 1 - STORY COVERED REAR PORCH; WOOD FLOOR
- *** 1 - STORY COVERED FRONT PORCH; CONCRETE SLAB OVER COMPACTED FILL

Trees shall be a minimum of five (5) to six (6) feet in height for small trees at the time of planting and one and one-half (1½) inches to two (2) inches caliper for medium and large trees at the time of planting. Planting shall be accomplished in accordance with the specifications and standards.

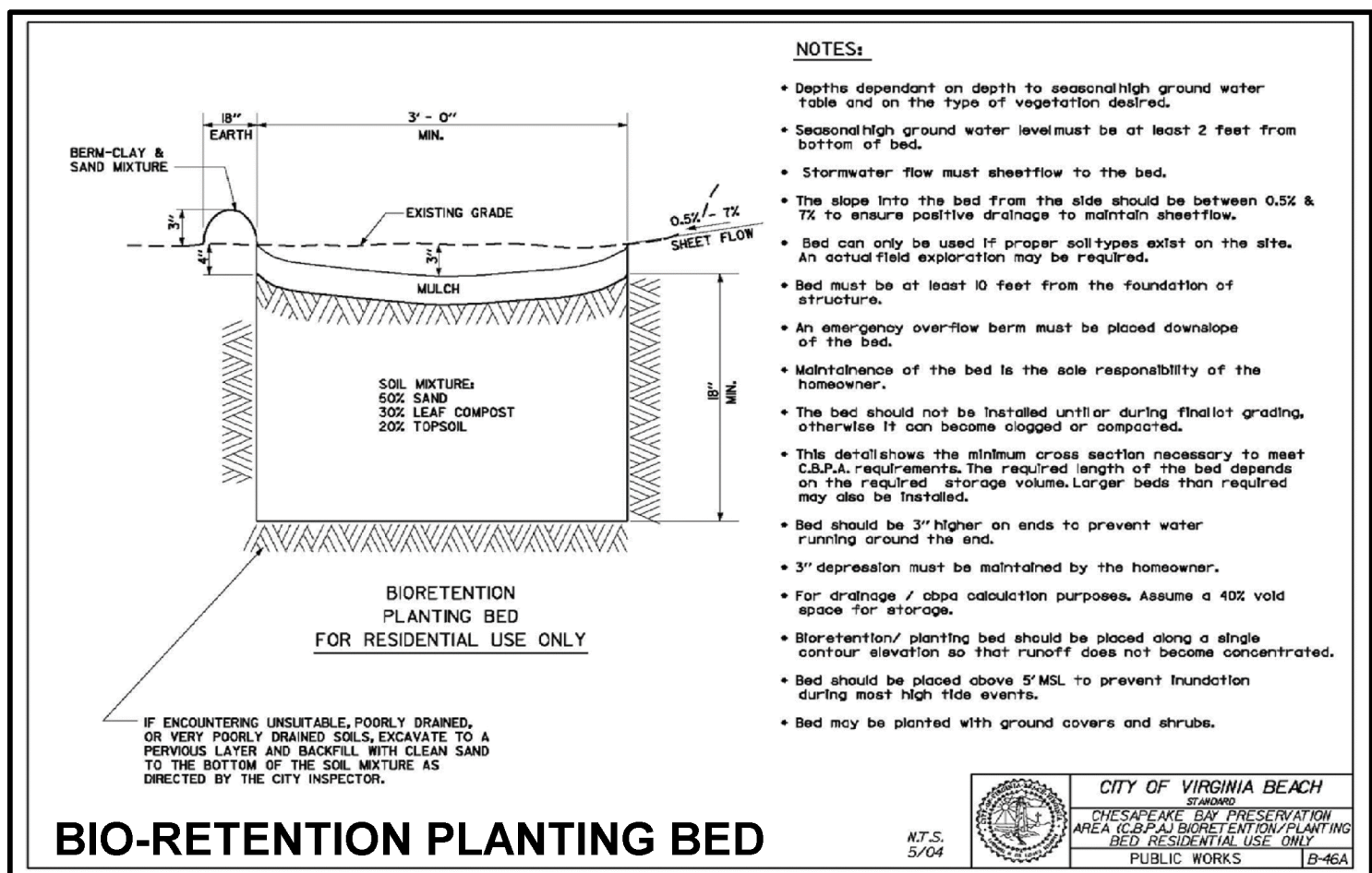
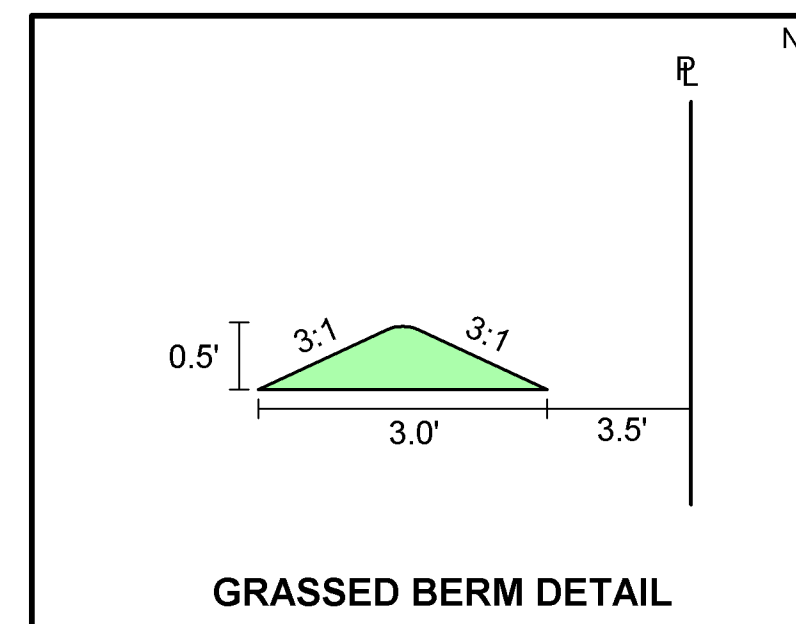
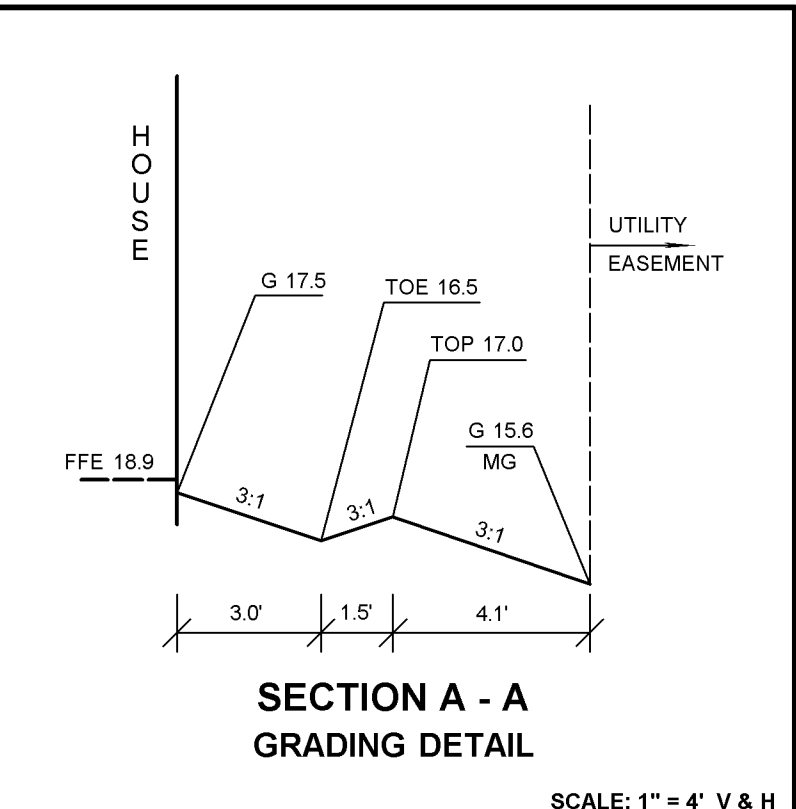


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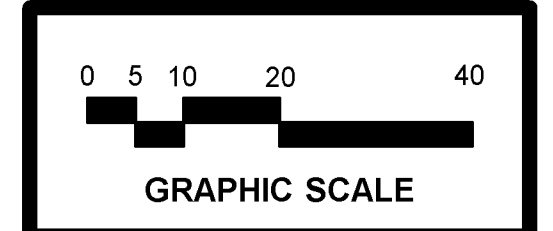
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COMMONWEALTH OF VIRGINIA
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SITE DEVELOPMENT PLAN
FOR PROPERTY DESIGNATED ON PLAT AS
"GPN 1469-84-1326"
PROPERTY SHOWN ON PLAT TITLED
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(INSTR. # 20051110001835770)
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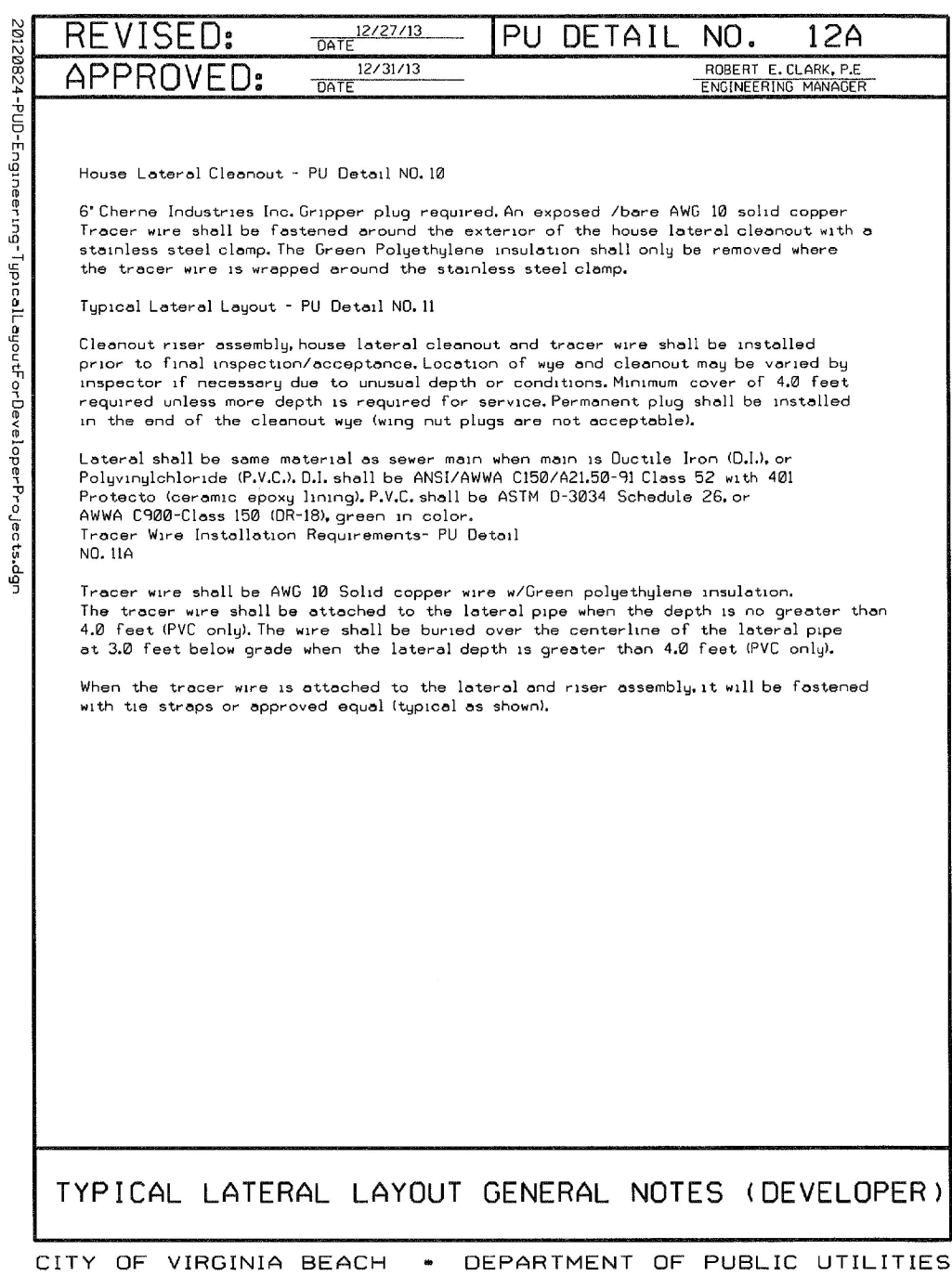
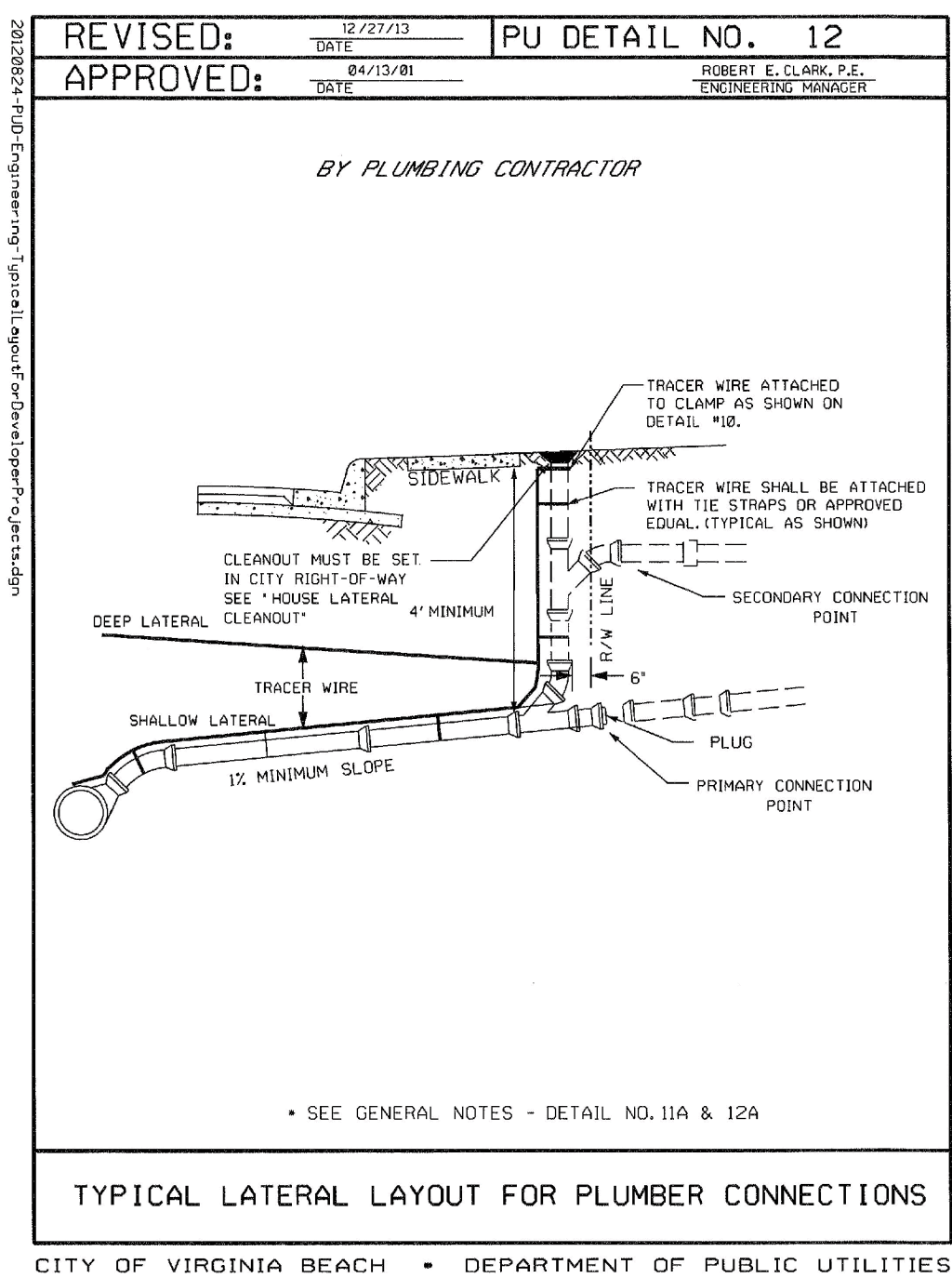
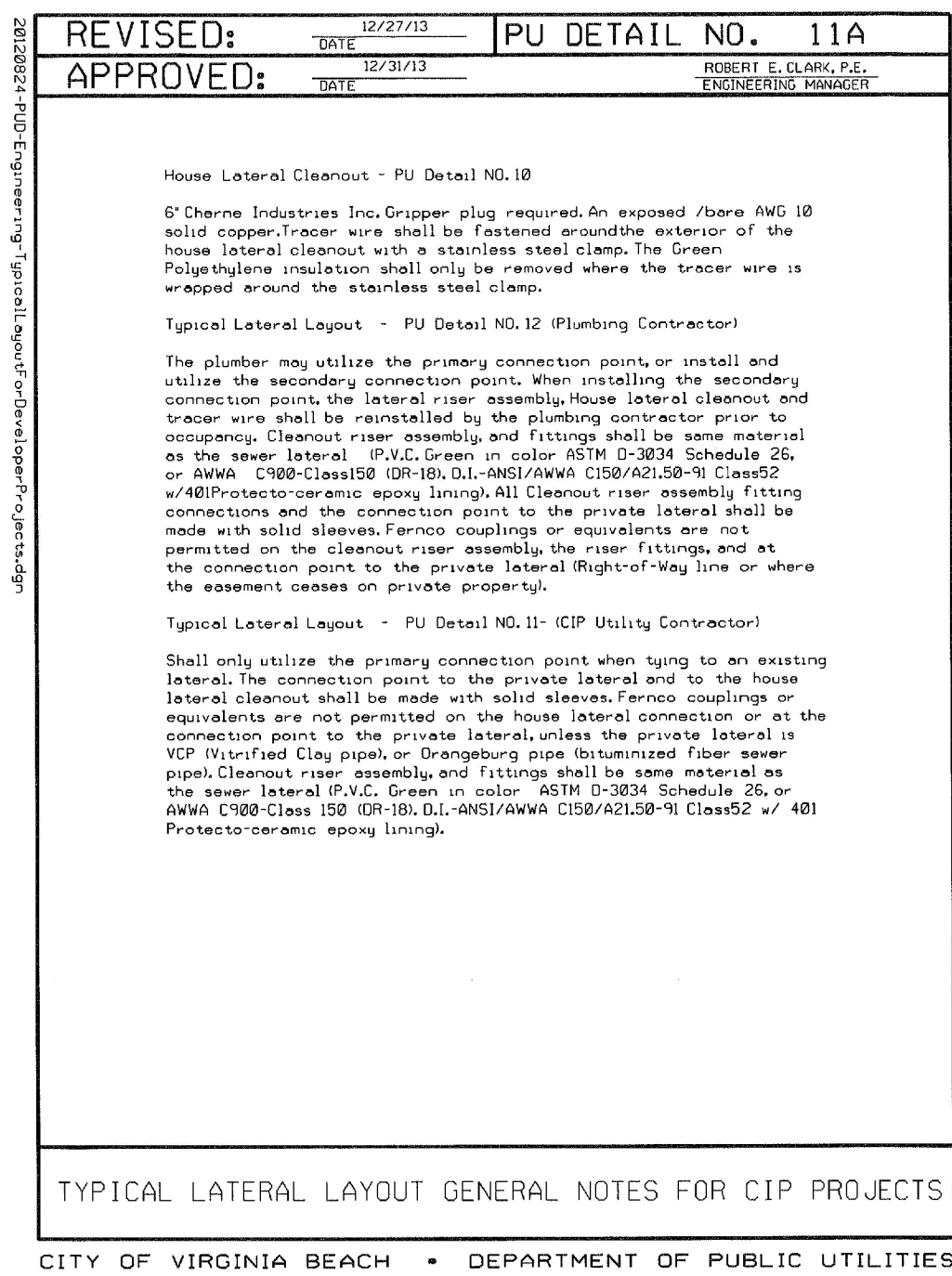
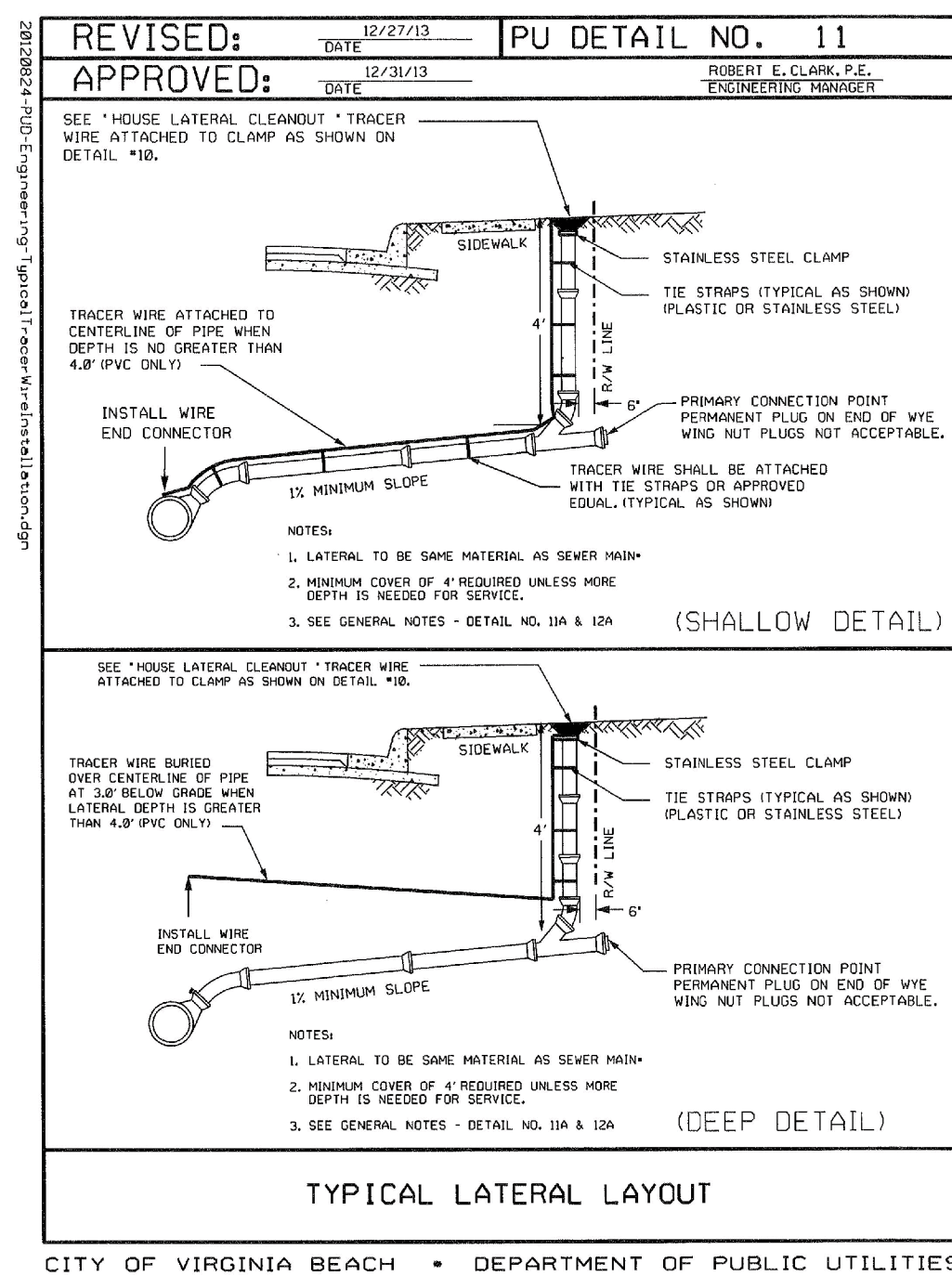
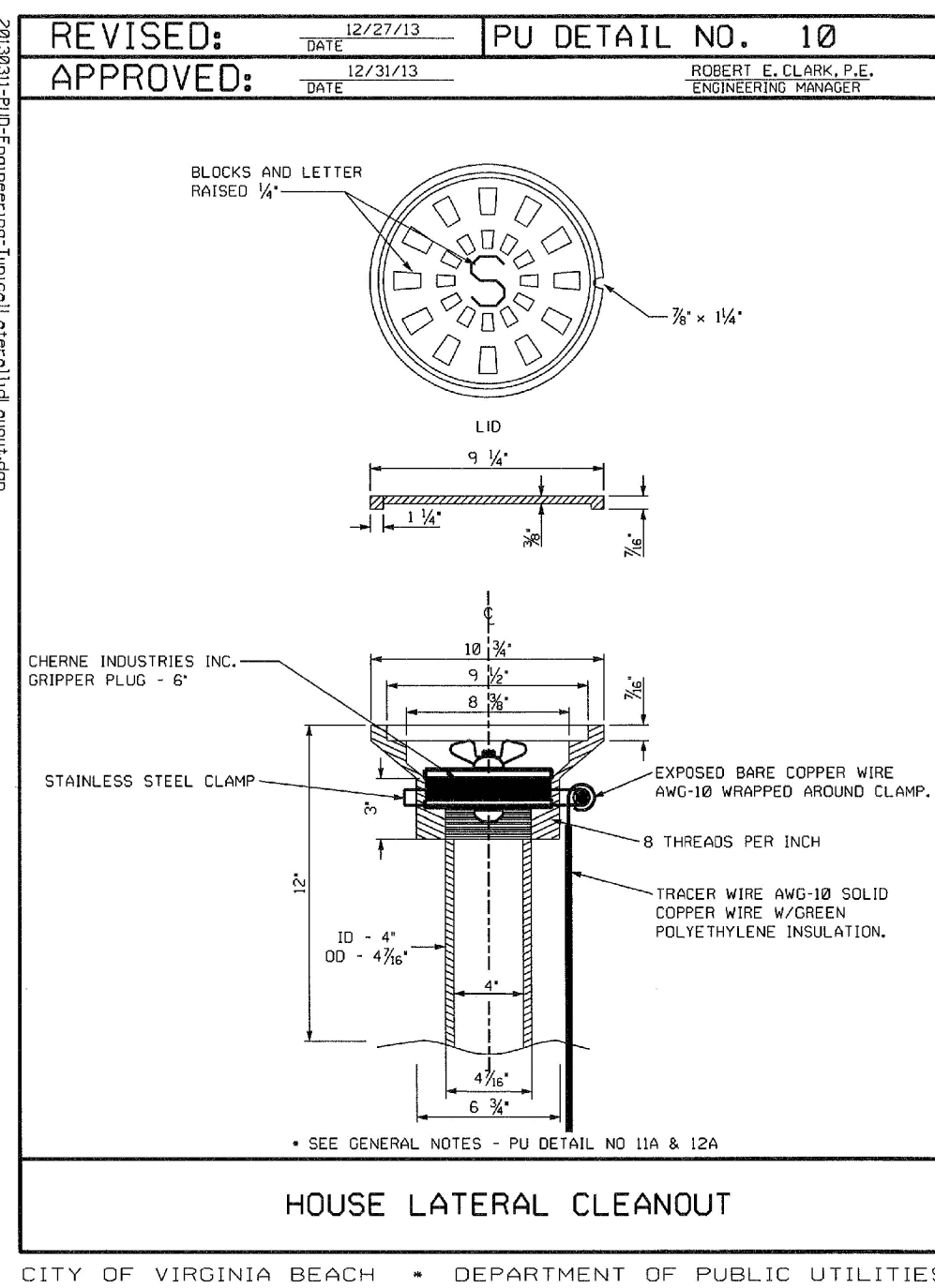
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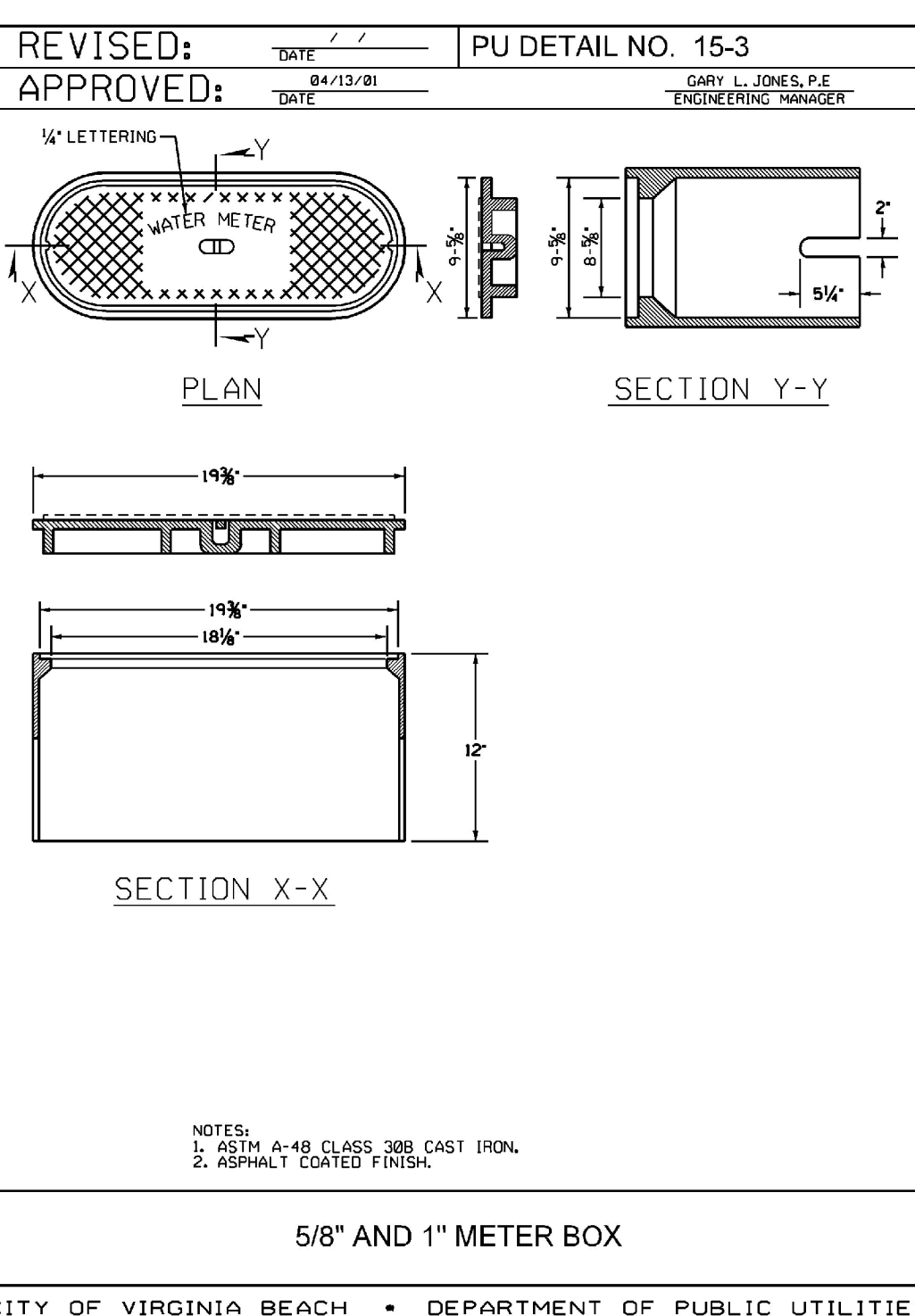
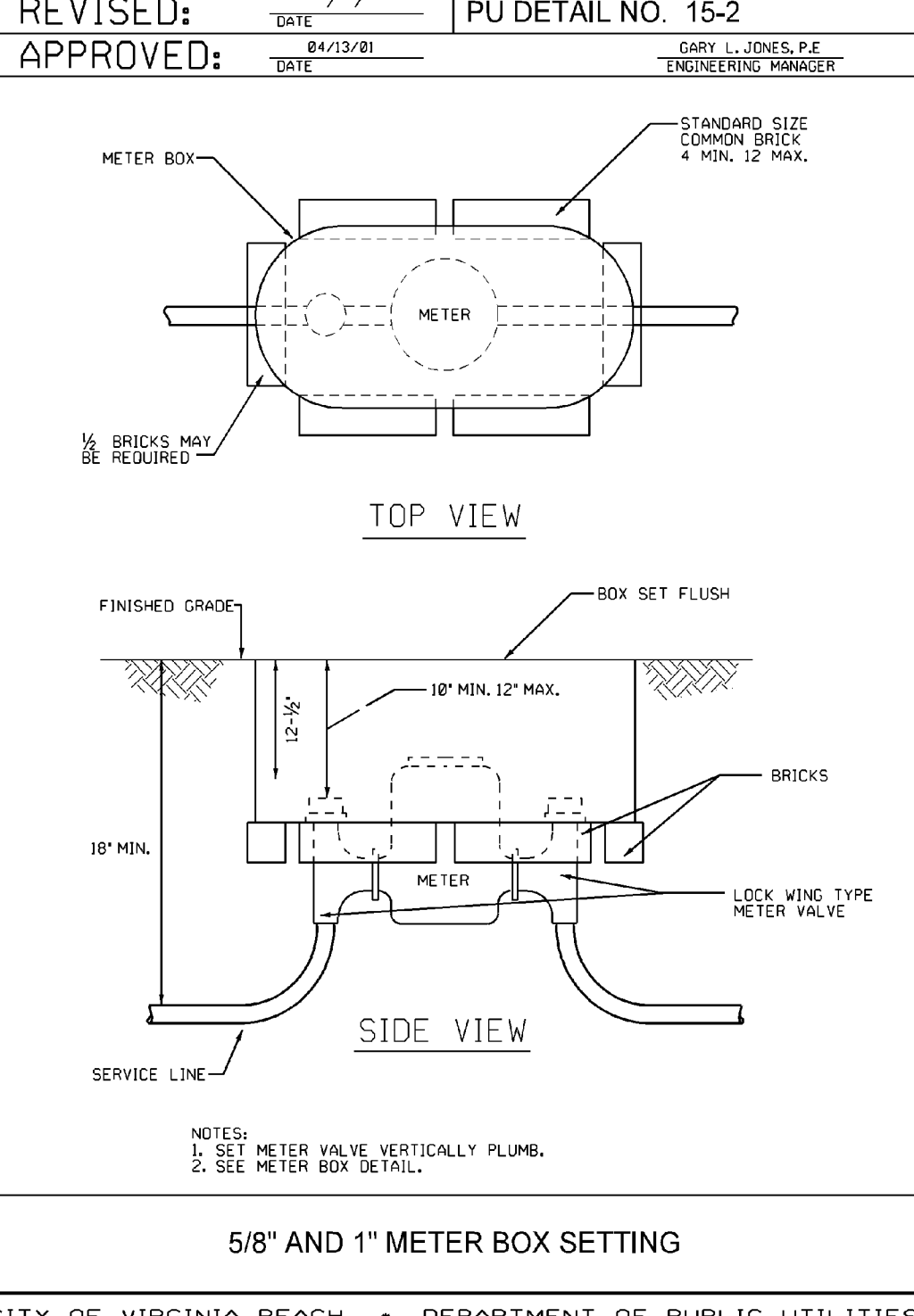
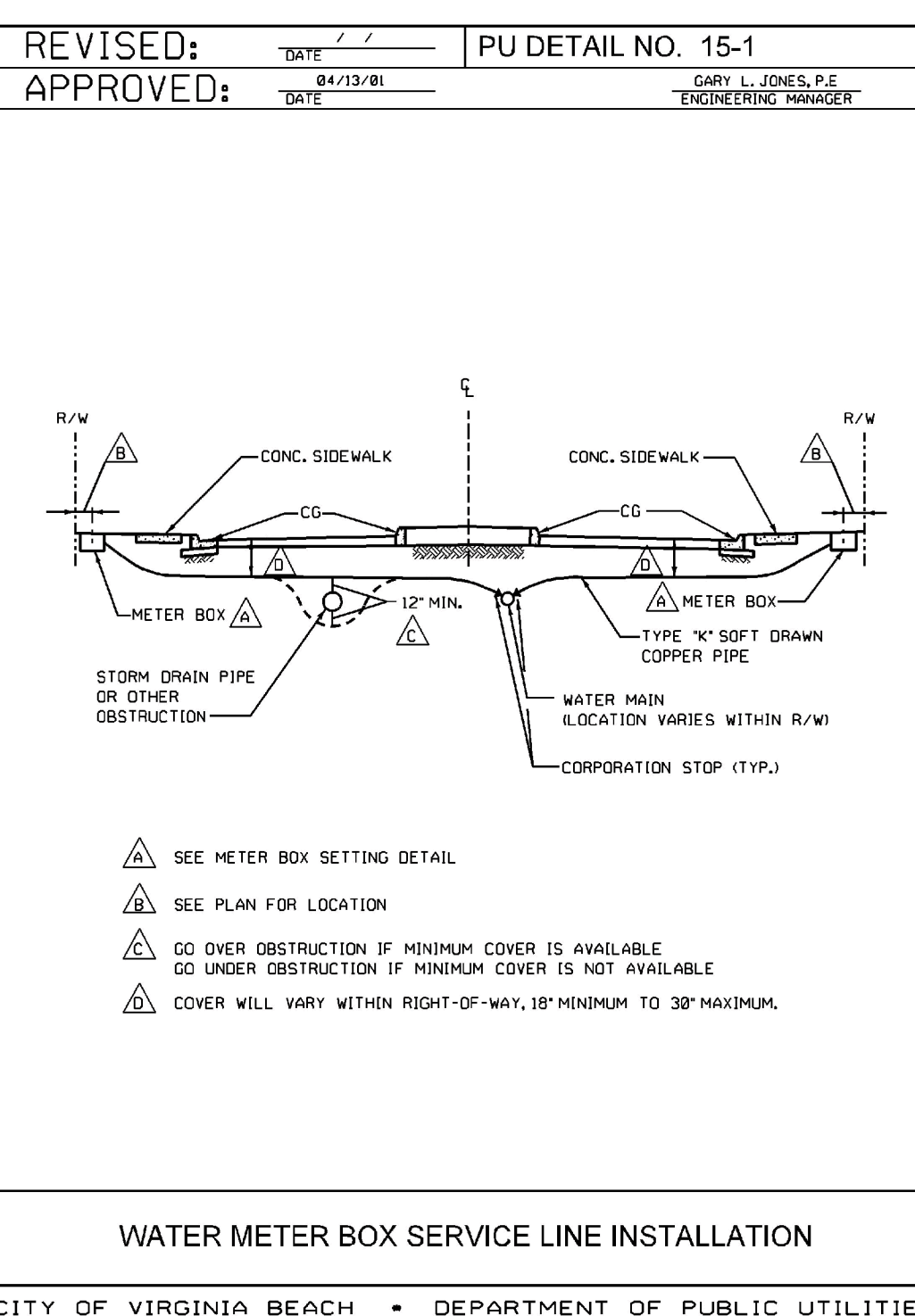
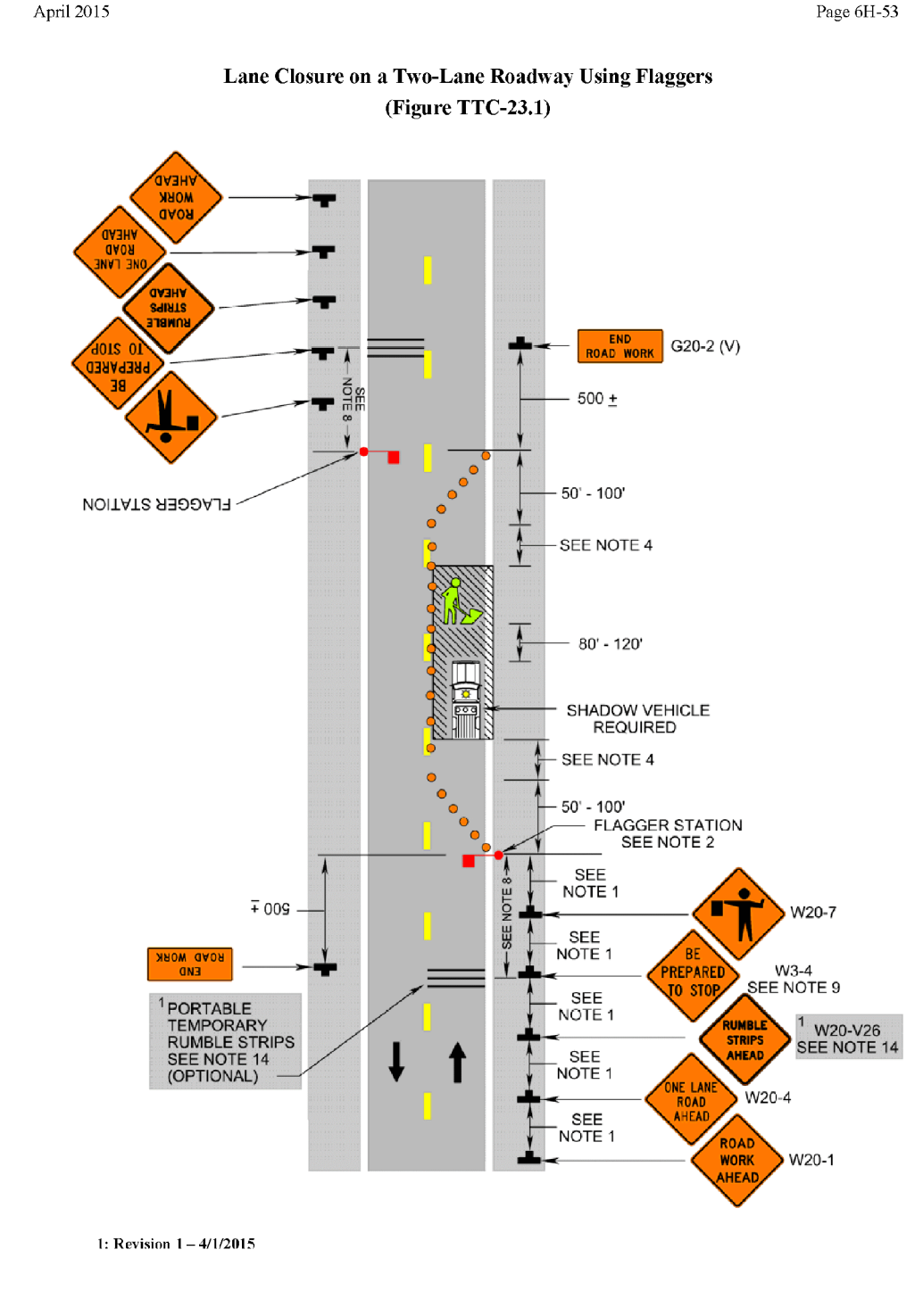
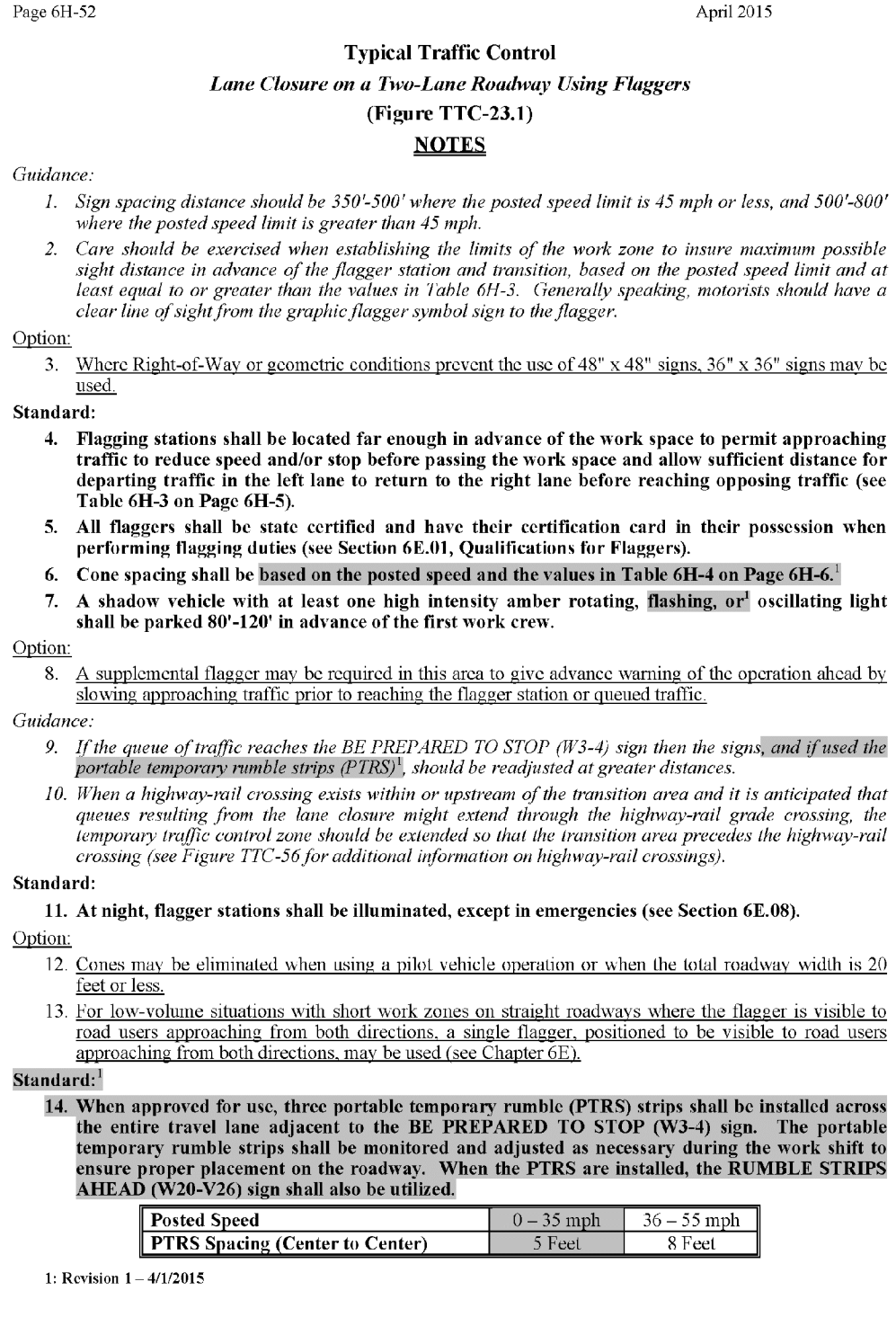
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120120824-PU-Engineering-Typic 12/27/2013 12:33:56 PM

LATERAL NOTES - B sign 12/27/2013 1:44:22 AM

Under Design n12 sign 12/28/2013 3:18:38 PM

Under Design LATERAL NOTES sign 12/31/2013 7:44:50 AM



TRAFFIC MAINTENANCE, CONTROL & LIGHTING

- Type III barricades with public notice of street extension signs are required at the termination of streets, as directed by Public Works/Traffic Engineering.
- Where parking areas will be illuminated, all sources of illumination must be shielded to prevent any direct reflection towards residential areas and City streets.
- All striping in the public right-of-way must be thermoplastic material for lane lines, STOP bars, crosswalks, etc. All legends and arrows must be VDOT approved Type B, Class VI preformed pavement message marking material.
- The City of Virginia Beach Traffic Engineering Bureau is responsible for reviewing and approving all traffic maintenance and control plans and reviewing the sequencing of construction plans essential to complete this project.
- All traffic maintenance and control devices, methods and applications will conform to the following publications including all current editions and revisions:
 - Manual on Uniform Traffic Control Devices for Streets and Highways issued by the U.S. Department of Transportation, Federal Highway Administration, (MUTCD)
 - Virginia Department of Transportation Road and Bridge Standards Vol. II
 - Virginia Department of Transportation Road and Bridge Specifications
 - Virginia Department of Transportation Work Area Protection Manual
 - City of Virginia Beach Traffic Works Specifications and Standards Manual
- Work Hours in Roadway Open to Traffic and/or Pedestrian Area
 - Monday through Saturday: Work will be completed between the hours of 9:00 a.m. and 4:00 p.m. only
 - Wednesdays, Sundays and Holidays: No work will be completed in the roadway or pedestrian areas unless otherwise noted or approved in writing by the Owner.
 - Additional restrictions may apply based on traffic conditions.
 - Extended work hours and workdays may be requested with a written request to the Owner. This request must be submitted at least five (5) working days prior to the extended work periods. Please note that work to be conducted in the resort area, certain restrictions apply from April to October. Please contact Traffic Engineering for these restrictions).
- Traffic Control Plans

Traffic control plans are included in the construction plans for the referenced project; however, field conditions may require modifications. If the contractor feels that the traffic control plan(s) included with this project does not suit conditions at a work site, then the contractor shall submit to the Owner a revised plan to maintain traffic. The revised plan shall include site-specific traffic details and shall identify the sequence of construction. The contractor will submit the revised traffic control plan(s) a minimum 10 calendar days prior to the start of work. The contractor will not disrupt traffic patterns until the Owner has approved the revised traffic control plan. The Owner reserves the right to modify any traffic control plan(s) as necessary in the interest of public safety or traffic efficiency.

Prior to beginning work, it is the contractor's responsibility to ensure that all requirements have been met and that all traffic control devices have been installed according to the approved traffic control plan(s).

 - The contractor shall check all traffic maintenance and control devices and work zones before, during and after each working to ensure proper operation. On weekends, holidays, or any non-working day, the contractor shall be responsible for checking the traffic maintenance and control devices daily for proper operation.
 - Two-way traffic will be maintained at all times during construction unless Traffic Engineering has approved another alternative for traffic control, such as a lane close or a temporary street closure. Resident and emergency access will be maintained at all times during construction regardless if a street closure is in effect or not.

- If there is an approval from Traffic Engineering for a lane closure or a temporary street closure, all lanes of traffic will be reopened to traffic at the conclusion of each construction day, unless a 24-hour temporary street closure is approved and in effect.
- In all cases in which existing or established traffic patterns will be disrupted, the contractor will notify all affected residents and/or businesses a minimum of 48 hours in advance of the anticipated disruption by distributing door-hooder notices. A copy of the notice shall be forwarded to Traffic Engineering for review and approval prior to beginning work.
- At night or during non-construction hours, all excavated areas are to be backfilled or secured and protected by using approved safety devices or materials.
- In accordance with the VIRGINIA OCCUPATIONAL SAFETY AND HEALTH STANDARDS (construction industry) 29 CFR, part 1929, 1989 edition, all contractor employees and subcontractor employees exposed to vehicular traffic will be provided with and required to wear warning vests marked with or made of reflectorized or high visibility materials.
- For construction operations lasting more than 14 days, the contractor will install ROAD WORK AHEAD (W-21), 48" x 48" and END ROAD WORK (G20-2), 48" x 24" warning signs on 6' x 6' wooden ground mounted posts. These signs must be installed prior to beginning construction work and will be removed after completion of all construction activities.
- For approved construction/truck entrances, the contractor will install "TRUCKS ENTERING HIGHWAY" 48" x 48" orange and black warning signs on 6' x 6' wooden ground mounted posts. These signs will be installed 500 feet in advance of all approved construction access/entrance points and be installed a minimum 72 above the finished grade from the bottom of the sign.
- Any traffic control devices including but not limited to pavement markings, signs, and traffic control signal equipment damaged or destroyed by the contractor must be replaced at the contractor's expense unless their removal or destruction is called for by the plans.
- For any further information on traffic maintenance and control requirements, please contact the Traffic Engineering Bureau, 2405 Courthouse Drive, Virginia Beach, Virginia 23466-0031, (757) 385-4131 / Fax: (757) 385-4913 Building & P

NOTE: NO PAVEMENT CUTS ARE PROPOSED. TRAFFIC CONTROL NECESSARY FOR INSTALLATION OF PROPOSED RESIDENTIAL ENTRANCE.



ENTRANCE REQUIREMENTS	A		B	
	(Driveway Width)	(See Note 1 Below)	(Driveway Width)	(See Note 1 Below)
LOCAL STREET WITHOUT CENTERLINE MARKING	9' OR GREATER	2'	6"	5"
LOCAL STREET WITH CENTERLINE MARKING AND A ROADWAY WIDTH OF 22 FEET OR LESS	12'	3'	10"	3'
LOCAL STREET WITH CENTERLINE MARKING AND A ROADWAY WIDTH GREATER THAN 22 FEET	12' OR GREATER	2'	10' OR GREATER	2'
COLLECTOR OR ARTERIAL WITH SPEED LIMIT OF 35 MPH OR GREATER	12' OR GREATER	2'	12' OR GREATER	2'
COLLECTOR OR ARTERIAL WITH SPEED LIMIT OF 35 MPH OR GREATER	12' OR GREATER	2'	SEE NOTE 2 BELOW	

NOTES

- FOR NEW RESIDENTIAL ENTRANCES STANDARDS, SEE SECTION 3.3 OF THIS MANUAL.
- INSTALL THE ENTRANCE IN ACCORDANCE WITH THE STANDARDS OF TRANSPORTATION (VDOT) STANDARDS (D-10) ENTRANCE REQUIREMENTS. THE ENTRANCE SHALL HAVE A RADIAL CURB ON EACH SIDE OF THE ENTRANCE WITH A MINIMUM RADIUS OF 1 FEET. A 180° STANDARD PE-2 ENTRANCE MAY BE USED IF NO CURB OR GUTTER EXISTS. SEE SECTION 600 OF THE VDOT ROAD AND BRIDGE STANDARDS FOR DETAILS.
- ALL THE OWNERS OPTION, THE FLARES MAY BE BLOCKED TO NO LESS THAN 4%.

PROJECT TYPE
SINGLE FAMILY SITE PLAN

in association with

 Construction Layout - (757) 406-7744

GRAPHIC SCALE

NO.	REVISION	DATE
1	CITY COMMENTS	7-11-18

JOB #	SHEET
18-64	4

DATE
 6-15-2018

SCALE
 NONE

OF 4

CITY OF VIRGINIA BEACH
 PUBLIC WORKS P-25

SITE DEVELOPMENT PLAN
 FOR PROPERTY DESIGNATED ON PLAT AS
 "GPN 1469-84-1326"
 PROPERTY SHOWN ON PLAT TITLED
 "PROPERTY OF VOR. K. MILLER"
 (INSTR. # 20051110001835770
 JACK FROST ROAD
 VIRGINIA BEACH, VIRGINIA

18-64 SHEET 4 OF 4

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